

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 28 February 2017	Classification For General Release	
Report of Director of Planning		Ward(s) involved Abbey Road	
Subject of Report	16 Hall Road, London, NW8 9RB		
Proposal	<p>Application 1 (16/11702/FULL) Alterations to rear bay windows at first and second floor levels (retrospective application).</p> <p>Application 2 (16/11705/FULL) Installation of paved deck and concealed hatch to front garden and alteration to front railings to form a gate.</p> <p>Application 3 (16/11706/FULL) Erection of infill dormer structure to the front roof between roof slope and party wall with No.18 (retrospective application).</p> <p>Application 4 (16/11707/FULL) Erection of infill dormer structure to rear roof between roof slope and party wall with No.18.</p>		
Agent	Tetlow King Planning		
On behalf of	R Hanan		
Registered Numbers	16/11702/FULL, 16/11705/FULL, 16/11706/FULL & 16/11707/FULL	Date amended/completed	19 December 2016
Date Application Received	9 December 2016		
Historic Building Grade	Unlisted		
Conservation Area	St John's Wood		

1. RECOMMENDATION

Application 1 (16/11702/FULL)
Refuse permission – on design grounds.

Application 2 (16/11705/FULL)
Refuse permission – on design grounds.

Application 3 (16/11706/FULL)

Refuse permission – on design grounds.

Application 4 (16/11707/FULL)

Refuse permission – on design grounds.

2. SUMMARY

Permission is sought for the retention of alterations to the first and second floor rear bay windows (Application 1); the installation of paved deck and concealed hatch to front garden and alterations to front railings to form a gate; (Application 2); the retention of an infill dormer structure to the front roof between the roof slope and the party wall with No.18 (Application 3); and erection of an infill dormer structure to the rear roof structure between the roof slope and the party wall with No.18.

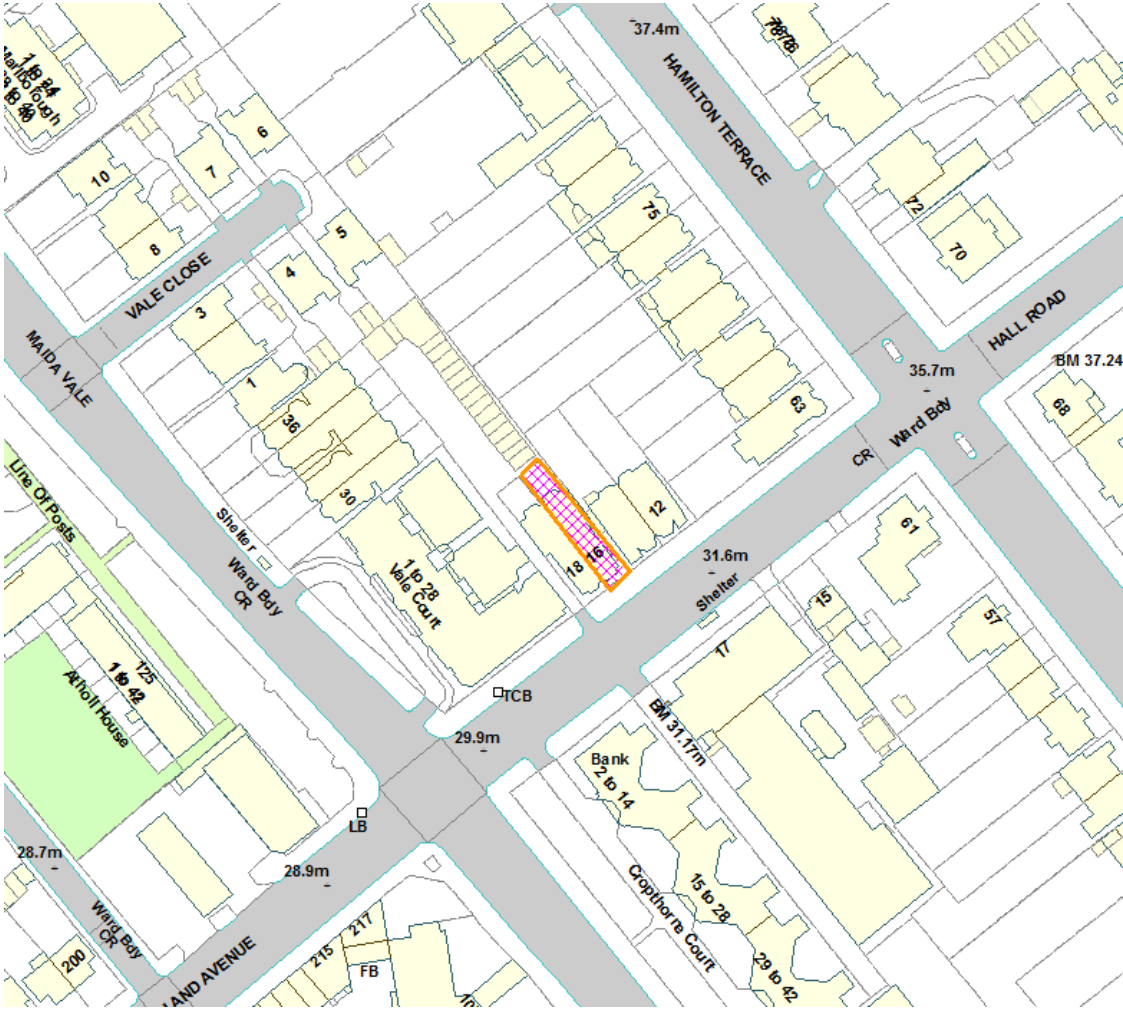
The current applications have been submitted to seek to remedy a number of unauthorised works that have been carried out to this property. The full planning history is set out later in this report in Section 6.2.

The key issues in this case are:

- The impact of the proposals on the appearance of this building and on the character and appearance of this part of the St. John's Wood Conservation Area.

The proposed alterations and extensions would harm the appearance of the building and the character and appearance of the St. John's Wood Conservation Area and would fail to accord with Policies DES1, DES5, DES6 and DES9 in the Unitary Development Plan adopted in January 2007 (UDP) and Policies S25, S28 and CM28.1 in Westminster's City Plan that was adopted in November 2016 (the City Plan). It is therefore recommended that all four applications are refused on the design grounds set out in the draft decision letters that are appended to this report.

3. LOCATION PLAN



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4. PHOTOGRAPHS



Front elevation.



Rear elevation comprising ground, first, second and mansard levels.



Rear first and second floor level bay to the rear of adjoining building (No.18).



View of infill extension at roof level to front elevation.



Existing unauthorised front lightwell to be covered over in Application 2.

5. CONSULTATIONS

5.1 **Application 1 (16/11702/FULL) – Alterations to rear bay windows at first and second floor levels (retrospective application).**

ST. JOHN'S WOOD SOCIETY

Objection. The original symmetry of the pair of houses has been destroyed. Windows bear no relationship with each other. Alterations cause considerable harm to the character of this building and the adjoining property.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 42;

Total No. of replies: 4;

No. of objections: 0;

No. in support: 4.

Four emails/ letters of support on all or some of the following grounds:

- Layout seems perfectly reasonable.
- The rear of the house is not seen.
- Returning the elevation to pre-existing would raise amenity concerns.

PRESS ADVERTISEMENT/ SITE NOTICE

Yes.

5.2 **Application 2 (16/11705/FULL) – Installation of paved deck and concealed hatch to front garden and alteration to front railings to form a gate.**

ST. JOHN'S WOOD SOCIETY

Objection. Part of a series of illegal alterations to this property. The additional gate appears to open over the public footpath which is a hazard. Hatch would be unsightly when it is open and have an adverse impact on the character of the conservation area.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 101;

Total No. of replies: 4;

No. of objections: 0;

No. in support: 4.

Four emails/ letters of support on all or some of the following grounds:

- Changes are imperceptible.
- Hatch will conceal rubbish from the street.

PRESS ADVERTISEMENT/ SITE NOTICE

Yes.

5.3 Application 3 (16/11706/FULL) – Erection of infill dormer structure to the front roof between roof slope and party wall with No.18 (retrospective application).

ST. JOHN'S WOOD SOCIETY

Objection. The infill dormer structure to the front roof is visible from the street. The crude design has a significant negative impact on the character of this building.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 101;
Total No. of replies: 2;
No. of objections: 0;
No. in support: 2.

Two emails/ letters of support on all or some of the following grounds:

- Dormer is not visible from the street.

PRESS ADVERTISEMENT/ SITE NOTICE:

Yes.

5.3 Application 4 (16/11707/FULL) – Erection of infill dormer structure to rear roof between roof slope and party wall with No.18.

ST. JOHN'S WOOD SOCIETY

Objection. Dormer bears no resemblance to the approved scheme.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 119;
Total No. of replies: 4;
No. of objections: 0;
No. in support: 3.

Three emails/ letters of support on all or some of the following grounds:

- Elevation can't be viewed from street level.

PRESS ADVERTISEMENT/ SITE NOTICE

Yes.

6. BACKGROUND INFORMATION

6.1 The Application Site

The application site is an unlisted semi-detached property, located on the north west side of Hall Road within the St John's Wood Conservation Area. The property is in use as a single family dwellinghouse with accommodation over five floors.

It is identified in the St John's Wood Conservation Area Audit SPD, which was adopted in June 2008, as an unlisted building of merit. It is originally a red brick building with a

gabled roof and a central projecting bay with stone dressings and prior to works, stood as a symmetrical pair with no.18. To the rear the pair had stock brick facades with red brick detailing and ground floor extensions detailed to match.

6.2 Recent Relevant History

On 17 December 2013 planning permission was refused for the conversion and extension via excavation of existing basement area to create extra living space and for use as a self-contained flat, an extension at ground floor level and excavation of a front lightwell and rear half sunken patio (11/08253/FULL).

Despite being refused; the basement excavation was carried out and the front and rear lightwells were constructed as shown on the refused drawings in 2014. The only difference being that the entire area is used as part of the main dwellinghouse and not as a self-contained unit. The ground floor extension was also constructed, which with the exception of some minor alterations, is largely the same as the refused ground floor rear extension. Additionally alterations to the rear bays at first and second floor level were carried out and a mansard roof was erected.

On 9 March 2015 part retrospective planning permission was refused for alterations and extensions to the dwelling comprising excavation of basement extension, erection of roof extension, single and two storey side extensions, replacement rear ground floor extension with access to garden and balustrade, front and rear light wells (14/08528/FULL). An appeal against the City Council's decision to refuse permission was subsequently dismissed on 3 August 2015.

An enforcement notice was issued on 14 December 2015, which took effect on the 19 January 2016, requiring the building to be returned to its previous condition. The enforcement notice was appealed on the grounds that the steps required by the notice exceed what is necessary to remedy any breach in planning control (Ground F) and that the time given to comply with the notice was too short (Ground G). The appeal was dismissed on Ground F, but succeeded on Ground G, with a period of fifteen months for compliance being given.

An application for alterations and extension to the dwelling comprising a basement extension, single and two storey side extensions, a rear extension at ground floor level with access to garden and balustrade, alterations to the front and rear lightwells, a rooflight to main roof, new fenestration and associated works was permitted on 21 June 2016 (16/01982/FULL). To date this permission has not been implemented.

The alterations to the rear elevation above ground floor level and the alterations to the roof remain unauthorised and no permission is in place to remedy these breaches of planning control.

7. THE PROPOSAL

Application 1 (16/11702/FULL)

Application 1 seeks retrospective permission for alterations to the first and second floor rear bay windows. Prior to the unauthorised works, the rear elevation at first and second floor levels comprised a central bay with a simple pitched roof and two windows on each level on the rear elevation and two windows on each level in the side elevations (as remains at No.18). Subsequently at first floor level a wider bay has been erected containing four windows with a flat roof. At second floor level the rear bay and roof above has been demolished and replaced with a rear elevation that is flush with face of the main rear elevation of the building. The fenestration at second floor level has been replaced with two larger scaled windows. The application seeks to retain this arrangement.

Application 2 (16/11705/FULL)

Application 2 proposes the introduction of a paved 'deck' over the unauthorised front lightwell, within which a concealed hatch would be provided. Alterations are also proposed to the front boundary railings to form a gate. When the basement was excavated the front garden, between the front boundary and the front elevation was excavated to create a front lightwell and a metal spiral staircase was inserted. In 2016 permission was granted for the lightwell to be covered in its entirety with natural stone flags. This application differs from the approved scheme by proposing the installation of a hatch, with a staircase beneath, allowing for access to the basement level from the street.

Application 3 (16/11706/FULL)

Application 3 seeks retrospective permission for a side dormer located between the party wall with No.18 and the front roof slope. It spans the full length of the front roof structure and is finished in lead with a minimal framed double glazed rear elevation. This currently unauthorised dormer feature was inserted when the unauthorised mansard roof was added in place of the now removed rear roof structure.

Application 4 (16/11707/FULL)

Application 4 seeks permission for the erection of a side dormer on the rear roof structure located between the roof slope and the party wall with No.18. Presently an unauthorised mansard roof extension has been constructed over the rear half of the building in place of the original hipped roof structure. This application would see the removal of the unauthorised mansard roof extension, the removal of which is required by the enforcement notice. The proposed dormer would have a green/blue mineral felt roof and a minimally framed double glazed window in its rear elevation.

8. DETAILED CONSIDERATIONS

8.1 Land Use

Policy H3 in the UDP states that extensions to residential properties are acceptable in principle, provided they are in keeping with the character of the building and area and have no adverse amenity effects.

8.2 Townscape and Design

As previously noted, these applications follow two previous refused applications for the enlargement of the building and the undertaking of unauthorised works. Following a dismissed appeal and the serving of an enforcement notice an application was permitted in 2016 for the retention of elements of the unauthorised works which were considered to be acceptable, albeit with amendments. Set in this context, the current applications seek permission for the retention of some of the remaining unauthorised works or for modification to elements of the scheme previously approved in 2016.

In considering the design and conservation merits of each of the applications, the proposals must be found to comply with the following policies:

- Policy DES 1 of the UDP and S28 of the City Plan state that the development should be of the highest standard of architectural quality and should respect the character, urban grain, scale and hierarchy of existing buildings.
- Policy DES 5 of the UDP states that alterations and extensions should be in scale with the existing building and its immediate surroundings, their design should reflect the style and details of the existing building and the external materials should be consistent with that of the existing building.
- Policy DES 6 of the UDP, which relates specifically to roof extensions, states that development must not adversely affect either the architectural character or unity of a building or group of buildings and must not be visually intrusive or unsightly when seen in longer public or private views from ground or upper levels.
- Policy DES 9 of the UDP and S25 of the City Plan seek to preserve and enhance conservation areas.

The alteration to the rear bay (Application 1) is considered to have resulted in the loss of a key feature of the building, which contributed to the symmetry between the two semi-detached properties, and this is a ground on which the St. John's Wood Society have objected. Furthermore the alteration has added to the scale and mass of the dwellinghouse and consequently altered its shape and appearance, a view shared by the Planning Inspector in the recent appeal decision. The alterations to the rear bay have harmed the traditional style of the host building and results in a visually dominant façade. Whilst it is noted the rear elevation is not visible from the public realm, in accordance with policy, private views are also taken into consideration within conservation areas. The alteration to the rear bay is clearly evident in private views from buildings to the rear and to the side. This is considered to impact on the experience of the conservation area for neighbouring occupiers and therefore fails to preserve or enhance the character and appearance of the area. The proposal to retain the arrangement is therefore considered to be unacceptable in design and conservation terms.

The front garden of the building is also considered to contribute to the symmetrical nature of the semi-detached properties and the character and appearance of the buildings. In 2016 permission was granted for the unauthorised lightwell to be covered over in its entirety with a deck topped with natural stone flags. During the course of that application the proposal was amended to omit a hydraulic hatch on officer's advice, as it was considered that the introduction of a hatch would add visual clutter to this highly visible part of the site, especially as the opening of the hatch cannot readily be controlled. The building has a shallow front garden which is readily visible from the street and is appreciated alongside the adjoining property. The concerns previously raised still remain relevant; the proposed hatch is large in scale and will result in a large frame interrupting

the stone paving, which would appear uncharacteristic. Furthermore, as the opening of the hatch cannot readily be controlled (as its use is not intended for use in rare occurrences such as in the case of an emergency), if left open for long periods of time it would appear out of keeping with the setting of local buildings, would add clutter to the streetscene and would result in the basement level being appreciable in public views.

Westminster's Supplementary Planning Document 'Basement Development in Westminster' (2014) states in section 6.6.5 that '*New lightwells to the front of properties are more contentious... lightwells set in shallow front garden areas are unlikely to be acceptable and will be particularly contentious as there is no visual buffer between the front elevation and the street...*'. In the 2016 application the excavated lightwell was not required to be filled in as covering it over with stone flags was considered to be sufficient to address the harm to the character and appearance of the conservation area. The insertion of a hatch results in an external manifestation the basement being highly visible in the street scene, which would harm the character and appearance of this building by altering the scale, architectural form and levels of hierarchy of the host building. Similarly the insertion of a gate into the front railings has not only interrupted a continual line of railings, it is an external manifestation which implies it is an access route. The local amenity society has stated that the gate appears to open over the footpath and as such would be a hazard. The hatch and gate is considered to harm the character and appearance of the Conservation Area and therefore the Application 2 proposal is unacceptable in design terms.

The St John's Wood Conservation Area Audit (2008) identifies the application site together with No.18 Hall Road as buildings where roof extensions would not normally be acceptable. This identification includes buildings with distinct roof forms and buildings which are semi-detached and where the extensions would imbalance or damage the integrity of the pair. The original roof form was well proportioned and also matched the roof form of No.18. Two of the applications submitted seek permission for the retention and modification of dormers, both on the inside elevation of the roof, against the party wall line; one alongside the front roof form and one alongside a reinstated rear roof form. The front dormer has been constructed and the rear dormer will need to be constructed (if it were approved) by removal of the unauthorised mansard roof. As currently proposed in Applications 3 and 4 both dormers could be implemented concurrently.

The erection of the unauthorised front dormer and rear roof extension has resulted in the erosion of the traditional roof form and hipped profile, when appreciated from the front, rear and in private views. Whilst not excessively high the front dormer roof extension occupies the full length of the front roof slope and therefore the relationship with the party wall has been lost, furthermore it fails to accommodate an appropriate set back from the eaves. The flat roof is visible from the public highway as well as from views from neighbouring buildings and therefore the alteration to the roof form is readily appreciated. As built the dormer has a tiled elevation which is in keeping with the existing roof covering; however, the introduction of lead, whilst a traditional material, would further highlight the alteration of the roof form and further erode the symmetry of the roof forms of the application site and No.18 Hall Road.

The dormer on the rear elevation will be more prominent due to the lower level of this section of the roof and due to its scale, form and detailed design. Whilst it will be set back from the rear elevation, the ridge of the dormer will project from the ridge of the pitched

roof and it would have a fully glazed rear elevation. As proposed the dormer is considered to result in an overly bulky and incongruous form of development at roof level that fails to preserve the character and appearance of the original building and the St John's Wood Conservation Area. Additionally, it would fail to protect the symmetrical character of the semi-detached pair. Furthermore, when the room is in use after dark the light emitted from the fully glazed rear elevation would further highlight the lack of subservience and visual intrusiveness of the proposed dormer. It is for these reasons that roof level alterations contained within Applications 3 and 4 are considered be contrary to the UDP and City Plan policies set out earlier in this section of the report and the proposals would harm the appearance of the building and would fail to preserve or enhance the character and appearance of the St. John's Wood Conservation Area.

For the reasons set out in this section of the report, all four applications are considered to be unacceptable in design and conservation terms. The identified harm is considered to be less than substantial. In such circumstances, Paragraph 134 of the NPPF states that, where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, the harm should be weighed against the public benefits of the proposal, including securing its optimum viable use. The provision of additional accommodation to an existing private residential dwelling is not considered to be a public benefit which would outweigh the harm caused in this particular case.

8.3 Residential Amenity

The applications do not raise any significant concerns in amenity terms. The proposed alterations and extensions would not cause any material losses of daylight or sunlight, would not increase enclosure and would not introduce windows that would cause overlooking. The applications therefore accord with Policy ENV13 in the UDP and Policy S29 in the City Plan.

In response to consultation on Application 1 for the retention of the modified rear bay, a letter of support has been received stating that returning to the pre-existing arrangement would raise amenity concerns as the windows in the side elevations of the bay would result in overlooking. However, as this was a pre-existing lawful arrangement of the building and the adjoining property has the same configuration it is not considered that significant weight in favour of retaining the existing unauthorised arrangement of the rear elevation can be attributed to this response to consultation. As set out in Section 8.2, the harm to the appearance of the building and the character and appearance of the conservation area significantly outweigh the extremely limited benefit in amenity terms of removing the rear bay at first and second floor levels.

8.4 Transportation/Parking

None relevant.

8.5 Economic Considerations

No economic considerations are applicable for developments of this size.

8.6 Access

The applications do not have any implications for the principal entrance to this private dwellinghouse.

8.7 Other UDP/Westminster Policy Considerations

None relevant.

8.8 London Plan

These applications do not raise any strategic issues.

8.9 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

8.10 Planning Obligations

Planning obligations are not relevant in the determination of these applications.

8.11 Environmental Impact Assessment

These applications do not raise any environmental impact issues.

8.12 Other Issues

None relevant.

9. BACKGROUND PAPERS

Application 1 (16/11702/FULL)

1. Application form.
2. Email from the St. John's Wood Society dated 16 January 2017.
3. Letter from occupier of 75 Hamilton Terrace dated 10 January 2017.
4. Letter from occupier of 9 Vale Court, Maida Vale dated 11 January 2017.
5. Letter from occupier of Flat 1, 14 Hall Road, St Johns Wood dated 15 January 2017.
6. Letter from occupier of 14 Hall Road dated 22 January 2017.

Application 2 (16/11705/FULL)

1. Application form.
2. Email from the St John's Wood Society dated 16 January 2017.
3. Letter from occupier of 75 Hamilton Terrace dated 10 January 2017.
4. Letter from occupier of 9 Vale Court, Maida Vale dated 11 January 2017.
5. Letter from occupier of 14 Hall Road dated 22 January 2017.
6. Letter from occupier of Flat 1, 14 Hall Road, St Johns Wood dated 22 January 2017.

Application 3 (16/11706/FULL)

1. Application form.
2. Email from the St John's Wood Society, dated 16 January 2017.

3. Letter from occupier of 14, Hall Road, dated 22 January 2017.
4. Letter from occupier of 75 Hamilton Terrace, London, dated 25 January 2017.

Application 4 (16/11707/FULL)

1. Application form.
2. Email from the St John's Wood Society dated 16 January 2017.
3. Letter from occupier of 14, Hall Road dated 22 January 2017.
4. Letter from occupier of 75 Hamilton Terrace dated 25 January 2017.
5. Letter from occupier of 9 Vale Court dated 26 January 2017.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: OLIVER GIBSON BY EMAIL AT ogibson@westminster.gov.uk

10. KEY DRAWINGS

PRE-EXISTING DRAWINGS



Existing Front Elevation



Existing Rear Elevation

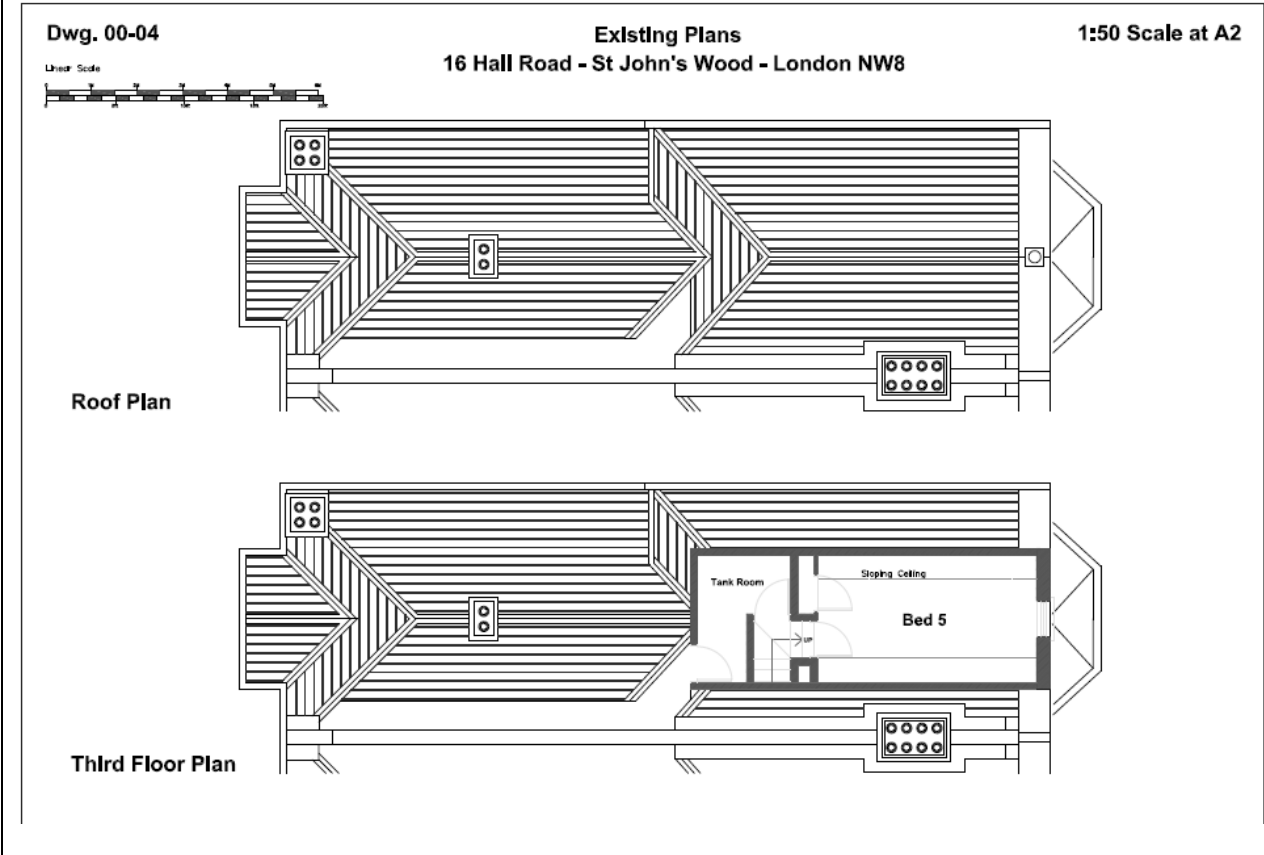
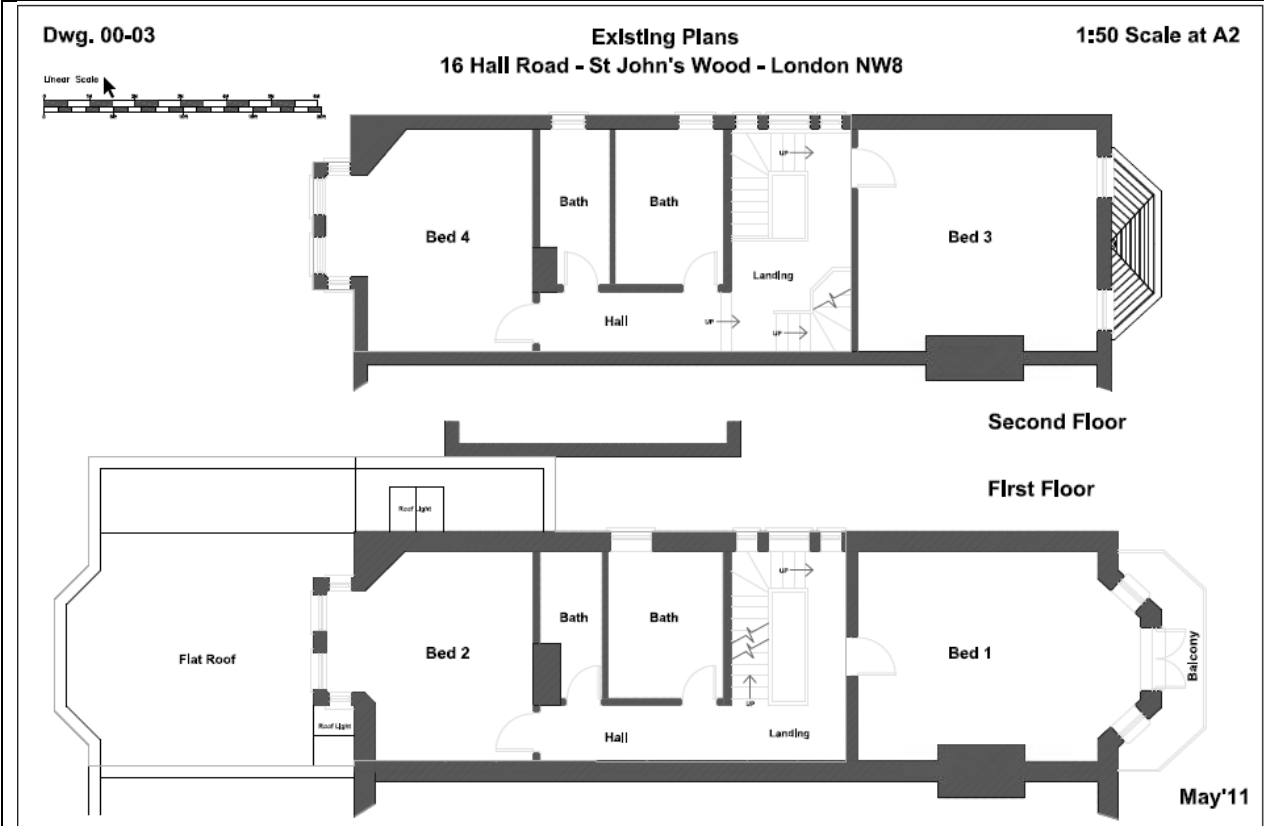
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Existing Plans
16 Hall Road - St John's Wood - London NW8

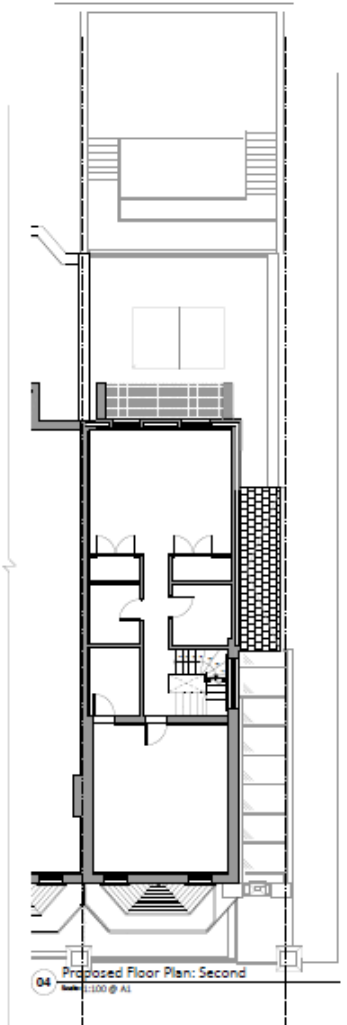
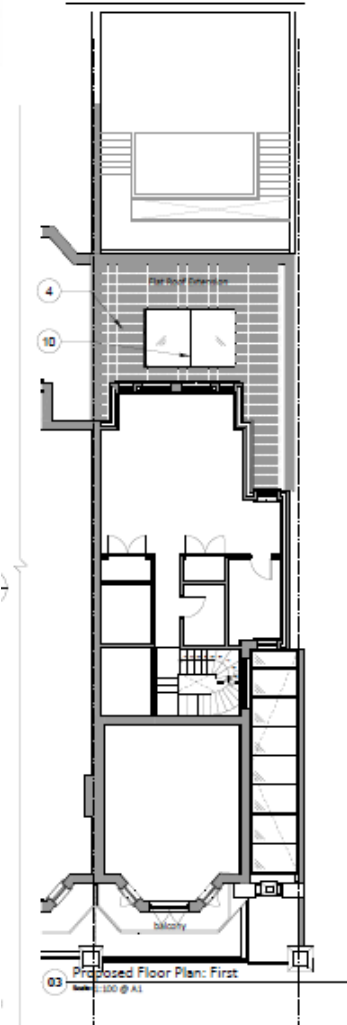
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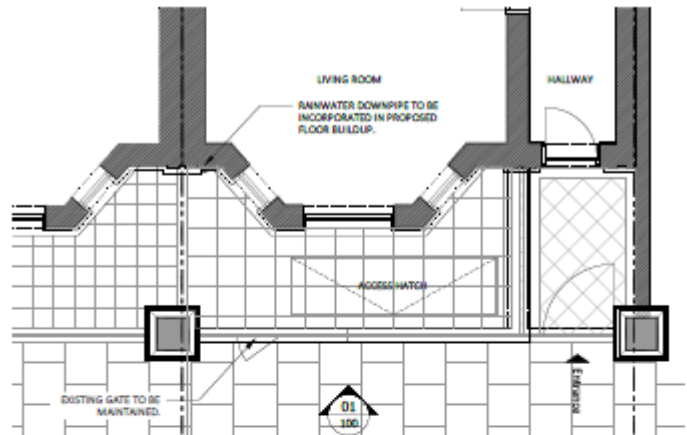
May'11



Application 1 - 16/11702/FULL

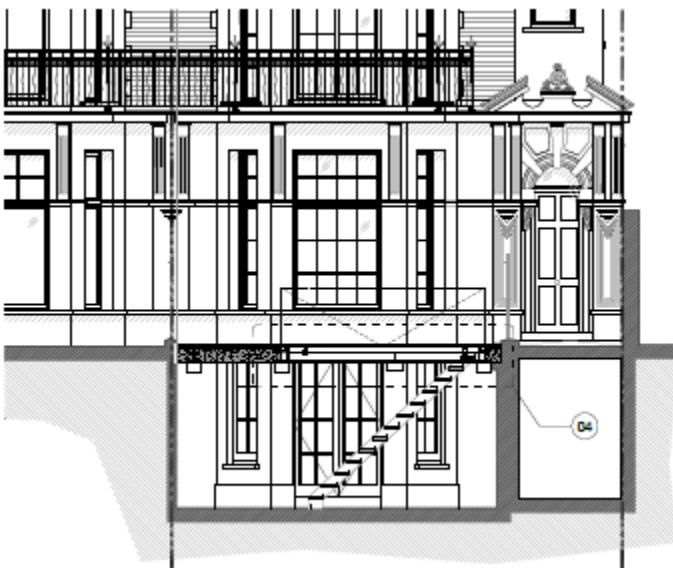
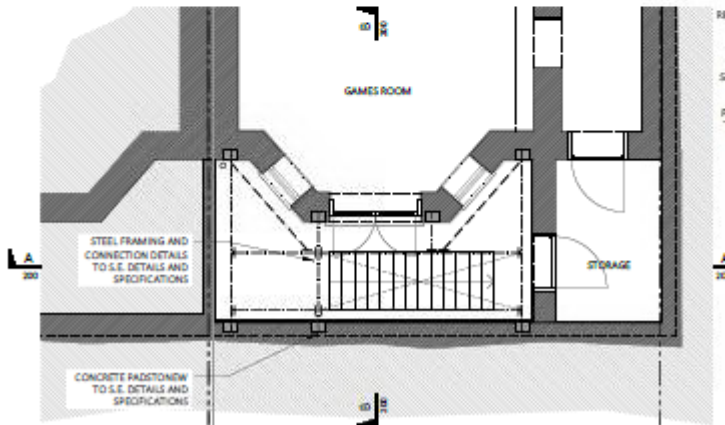


Application 2 - 16/11705/FULL



02 PROPOSED - GROUND FLOOR PLAN - FRONT ENTRANCEWAY AND STAIRWELL

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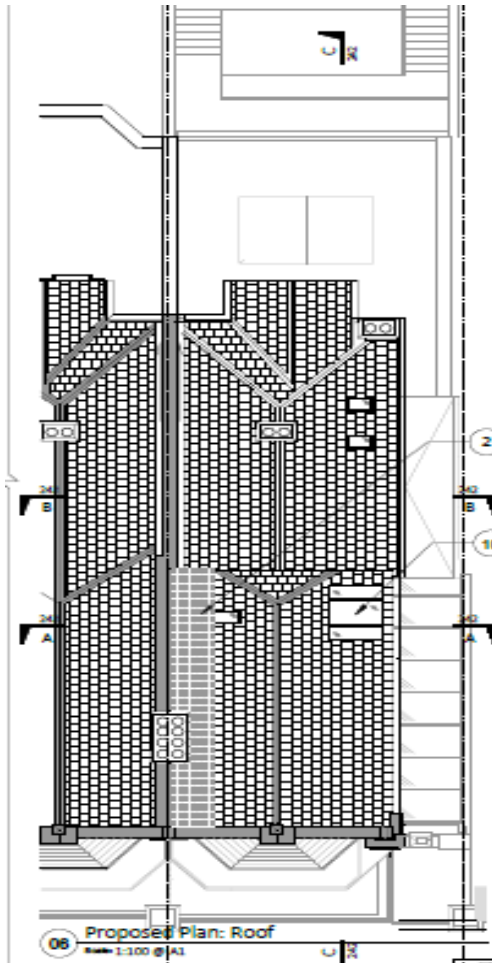
Application 3 - 16/11706/FULL



07 Proposed Front Elevation: South Facing Hall Road
Scale: 1:100 @ A1



08 Proposed Rear Elevation: North Facing
Scale: 1:100 @ A1

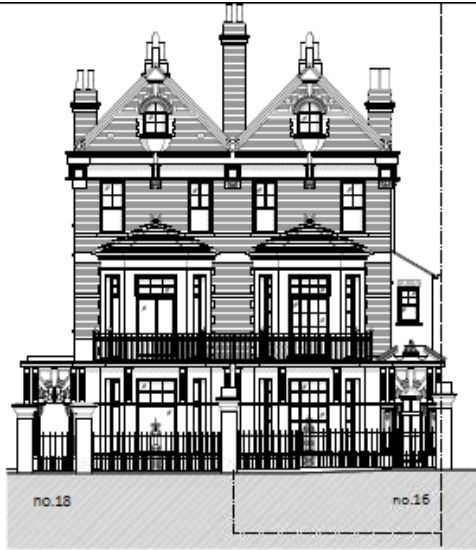


06 Proposed Plan: Roof
Scale: 1:100 @ A1



Proposed Section B-B

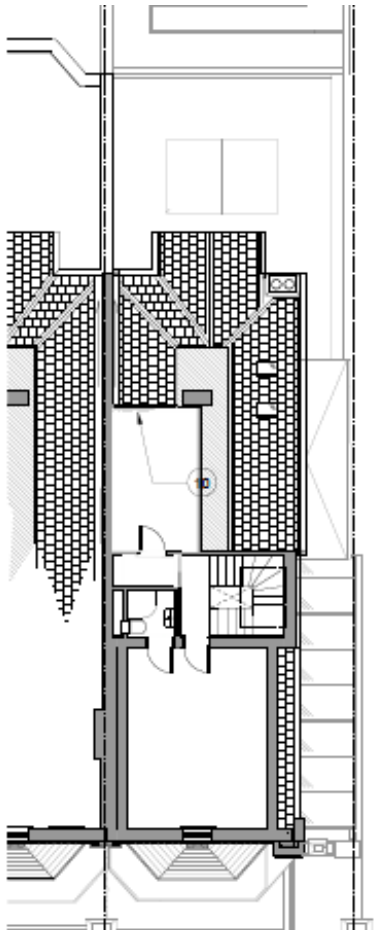
Application 4 - 16/11707/FULL



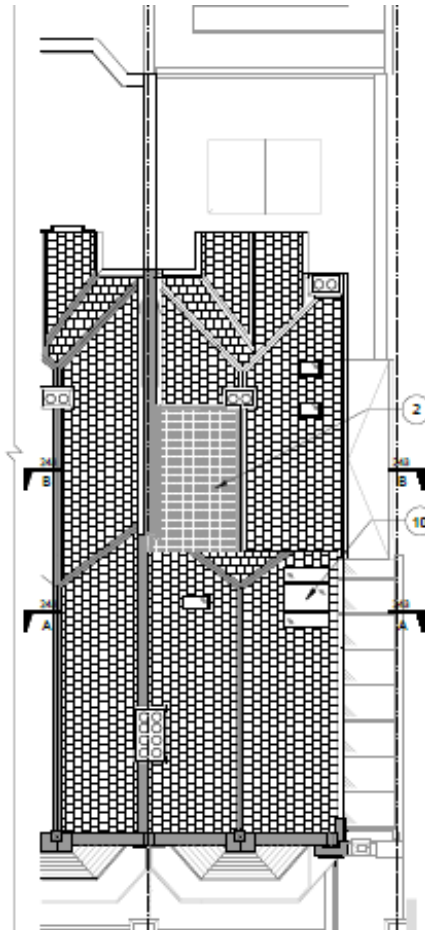
07 Proposed Front Elevation: South Facing Hall Road
Scale: 1:100 @ A1



08 Proposed Rear Elevation: North Facing
Scale: 1:100 @ A1



05 Proposed Floor Plan: Third
Scale: 1:100 @ A1



06 Proposed Plan: Roof
Scale: 1:100 @ A1

DRAFT DECISION LETTER

Address: 16 Hall Road, London, NW8 9RB

Proposal: Alterations to rear bay windows at first and second floor levels (retrospective application).

Reference: 16/11702/FULL

Plan Nos: 00-02; 00-03; 00-04; 00-10; 00-10-Rev B; 00-11; 109-PLN-101; 109-PLN-204 Rev A; 109-PLN-244; 109-LOC-001 Rev A.

Case Officer: Rebecca Mason

Direct Tel. No. 020 7641 7540

Recommended Condition(s) and Reason(s)**Reason:**

Because of the scale, bulk and detailed design of the enlarged first floor bay and the detailed design of the replacement facade at second floor level, the proposed development would harm the appearance of this building and fail to maintain or improve (preserve or enhance) the character and appearance of the St John's Wood Conservation Area. This would not meet S25 and S28 of Westminster's City Plan (July 2016) and DES 5, DES 1 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (X16AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

Item No.

4

DRAFT DECISION LETTER

Address: 16 Hall Road, London, NW8 9RB

Proposal: Installation of paved deck and concealed hatch to front garden and alteration to front railings to form a gate.

Reference: 16/11705/FULL

Plan Nos: 00-02; 00-03; 00-04; 00-10; 00-10-Rev B; 00-11; 109-DD-201; 109-PLN-240; 109-LOC-001 Rev A.

Case Officer: Rebecca Mason

Direct Tel. No. 020 7641 7540

Recommended Condition(s) and Reason(s)**Reason:**

Because of its location, scale and detailed design the hatch in the front garden and gate in the railings would harm the appearance of this building and fail to maintain or improve (preserve or enhance) the character and appearance of the St John's Wood Conservation Area. This would not meet S25 and S28 of Westminster's City Plan (July 2016) and DES 5, DES 1 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

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DRAFT DECISION LETTER

Address: 16 Hall Road, London, NW8 9RB

Proposal: Erection of infill dormer structure to the front roof between roof slope and party wall with No.18 (retrospective application).

Reference: 16/11706/FULL

Plan Nos: 00-02; 00-03; 00-04; 00-10; 00-10-Rev B; 00-11; 109-PLN-101; 109-PLN-202; 109-PLN-242; 109-LOC-001 Rev A.

Case Officer: Rebecca Mason

Direct Tel. No. 020 7641 7540

Recommended Condition(s) and Reason(s)**Reason:**

Because of its location, scale, bulk and detailed design the front infill dormer would harm the appearance of this building and fail to maintain or improve (preserve or enhance) the character and appearance of the St John's Wood Conservation Area. This would not meet S25 and S28 of Westminster's City Plan (July 2016) and DES 6, DES 1 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

DRAFT DECISION LETTER

Address: 16 Hall Road, London, NW8 9RB

Proposal: Erection of infill dormer structure to rear roof between roof slope and party wall with No.18.

Reference: 16/11707/FULL

Plan Nos: 00-02; 00-03; 00-04; 00-10; 00-10-Rev B; 00-11; 109-PLN-101; 109-PLN-203; 109-PLN-243; 109-LOC-001 Rev A.

Case Officer: Rebecca Mason

Direct Tel. No. 020 7641 7540

Recommended Condition(s) and Reason(s)**Reason:**

Because of its location, scale, bulk and detailed design the rear infill dormer would harm the appearance of this building and fail to maintain or improve (preserve or enhance) the character and appearance of the St John's Wood Conservation Area. This would not meet S25 and S28 of Westminster's City Plan (July 2016) and DES 6, DES 1 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

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